

watsons



LEVEL 2

# Your survey and valuation report

**Property address**

12 New Bank House, Sheffield, S1  
2FA

**Client's name**

Hilary McPhee

**Inspection Date**

29th April 2026

**Surveyor's RICS number**

1122871

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# A

## About the inspection and report

This Home Survey - Level 2 (survey and valuation) service has been produced by a surveyor, who is a member of the RICS Valuer Registration scheme.

The surveyor has written this report for you to use. If you decide not to act on the advice in this report, you do so at your own risk.

# A

## About the inspection and report

### As agreed, this report will contain the following:

- a physical inspection of the property (see 'The inspection' in section M) and
- a report based on the inspection (see 'The report' in section M).

### About the report

#### We aim to give you professional advice to:

- make a reasoned and informed decision on whether to go ahead with buying the property
- make an informed decision on what is a reasonable price to pay for the property
- take into account any significant repairs or replacements the property needs, and
- consider what further advice you should take before committing to purchasing the property.

Any extra services we provide that are not covered by the terms and conditions of this report must be covered by a separate contract.

### About the inspection

- We only carry out a visual inspection. Also, we do not remove secured panels or undo electrical fittings.
- We inspect roofs, chimneys and other surfaces on the outside of the building from ground level and, if necessary, from neighbouring public property and with the help of binoculars.
- We inspect the roof structure from inside the roof space if there is access (although we do not move or lift insulation material, stored goods or other contents). We examine floor surfaces and under-floor spaces so far as there is safe access to these (although we do not move or lift furniture, floor coverings or other contents). We do not remove the contents of cupboards. We are not able to assess the condition of the inside of any chimney, boiler or other flues. Also, we do not remove secured panels or undo electrical fittings.
- We note in our report if we are not able to check any parts of the property that the inspection would normally cover. If we are concerned about these parts, the report will tell you about any further investigations that are needed.
- We do not report on the cost of any work to put right defects or make recommendations on how these repairs should be carried out. Some maintenance and repairs we suggest may be expensive.
- We inspect the inside and outside of the main building and all permanent outbuildings, but we do not force or open up the fabric of the building. We also inspect the parts of the electricity, gas/oil, water, heating and drainage services that can be seen, but we do not test them.
- To help describe the condition of the home, we give condition ratings to the main parts (the 'elements') of the building, garage and some parts outside. Some elements can be made up of several different parts.
- In the element boxes in sections D, E, F and G, we describe the part that has the worst condition rating first and then briefly outline the condition of the other parts. The condition ratings are described in section B of this report. The report covers matters that, in the surveyor's opinion, need to be dealt with or may affect the value of the property.

 **Reminder**

Please refer to your **Terms and Conditions** report sent on the 11th April 2026 for a full list of exclusions.

## About the inspection

**Surveyor's name**

Andrew Horner MRICS

**Surveyor's RICS number**

1122871

**Company name**

Watsons Property Group Limited

**Date of the inspection**

29th April 2026

**Report reference number**

EWS-206957

**Related party disclosure**

We are not aware of any conflict of interest as defined in the RICS Valuation Standards and the RICS Rules of Conduct and have no links with this transaction.

**Full address and postcode of the property**

12 New Bank House, Sheffield, S1 2FA

**Weather conditions when the inspection took place**

When we inspected the property, the weather was dry following a period of dry weather.

**Status of the property when the inspection took place**

The property was occupied and fully furnished. There were fully fitted floor coverings in all rooms.

The property was tenanted on the day of our inspection, and your Legal Adviser should make further enquiries in this regard. They should make all necessary arrangements for a revised tenancy agreement and explain the implications to you. If it is your understanding the tenant is to leave prior to the purchase, the legal adviser should confirm vacant possession will be available.

Ask your legal adviser to:

- confirm the details of the existing tenancy and advise you accordingly if the tenant is to remain in-situ.

There were personal effects stored within the property which prevented the internal inspection of some areas.

We carefully and thoroughly inspect the property using reasonable efforts to see as much of it as is physically accessible.

The front of the property faces approximately South. All directions mentioned in the report are taken as though looking at the front elevation.

# B

## Overall opinion

This section provides our overall opinion of the property, highlights any areas of concern and summarises the condition ratings of the different elements of the property. Individual elements of the property have been rated to indicate any defects, and have been grouped by the urgency of any required maintenance.

If an element is made up of a number of different parts (for example, a pitched roof to the main building and a flat roof to an extension), only the part in the worst condition is shown here.

### **Important note**

To get a balanced impression of the property, we strongly recommend that you read all sections of the report, in particular section L, 'What to do now', and discuss this with us if required.

# B

## Condition ratings

### Overall opinion of the property

This property is considered to be a reasonable proposition for purchase at a price of £12000, provided that you are prepared to accept the cost and inconvenience of dealing with the various repair works reported. These deficiencies are common in properties of this age and type. Provided that the necessary works are carried out to a satisfactory standard, we see no reason why there should be any special difficulty on resale in normal market conditions.

The property is of an age and type where a degree of ongoing maintenance should be anticipated. As with any property, it is vital that the main fabric of the building is maintained in a watertight condition and in order to achieve this all major structural elements will require regular overhaul and repair. Brickwork, stonework, jointing and render, where present, should be regularly inspected and repaired. Any flashings should be redressed, and defective or slipped roofing tiles or slates repaired or replaced, as necessary. Rainwater goods should be regularly cleaned, resealed and realigned and any external joinery will need to be redecorated frequently with decayed sections being cut out and replaced. Paintwork should be maintained in a good condition. It is also vital that all services serving the property are regularly maintained and upgraded in order to comply with current regulations.

Our comments reflect the overall condition of the property on the day of our inspection, although this report should not be interpreted as a definitive list of every single defect which may be present. It should be appreciated that parts of the property are many years old. Such parts of the structure and fabric should therefore not be expected to be 'as new' and due regard has to be given to natural deterioration due to the elements and usage.

The property may not be mortgageable by many lenders due to its size and value.

# B

## Condition ratings

To determine the condition of the property, we assess the main parts (the 'elements') of the building, garage and some outside areas. These elements are rated on the urgency of maintenance needed, ranging from 'very urgent' to 'no issues recorded'.



### Documents we may suggest you request before you sign contracts

There are documents associated with the following elements. Check these documents have been supplied by your solicitor before exchanging contracts.



### Elements that require urgent attention

These elements have defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property.

Element no.	Element name
E9	Other
F4	Heating



### Elements that require attention but are not serious or urgent

These elements have defects that need repairing or replacing, but are not considered to be either serious or urgent. These elements must also be maintained in the normal way.

Element no.	Element name



### Elements with no current issues

No repair is currently needed. The elements listed here must be maintained in the normal way.

Element no.	Element name
D4	Main walls
D5	Windows
D6	Outside doors (including patio doors)
E2	Ceilings

Element no.	Element name
E3	Walls and partitions
E4	Floors
E6	Built-in fittings (built-in kitchen and other fittings, not including appliances)
E7	Woodwork (for example, staircase and joinery)
E8	Bathroom fittings
F3	Water



### Elements not inspected

We carry out a visual inspection, so a number of elements may not have been inspected. These are listed here.

Element no.	Element name
D1	Chimney stacks
D2	Roof coverings
D3	Rainwater pipes and gutters
D7	Conservatory and porches
D8	Other joinery and finishes
D9	Other
E1	Roof structure
E5	Fireplaces, chimney breast and flues
F1	Electricity
F2	Gas/oil
F5	Water heating
F6	Drainage
F7	Common services
G1	Garage
G2	Permanent outbuildings and other structures
G3	Other

# C

## About the property

**This section includes:**

- About the property
- Energy efficiency
- Location and facilities

## About the property

### Type of property

The property is a converted studio flat on the ground floor of a four storey building with no off-street parking.

We understand that the property is held leasehold. Your legal adviser should confirm this together with any ground rent or maintenance charges payable. Ask your legal adviser to:

- confirm that the flat is leasehold.

They should also check the level of ground rent and the unexpired term of the lease, and that the lease contains no unusual or onerous clauses. You may also wish them to investigate and advise you on the possibility of purchasing the freehold (which might be complicated and expensive in some cases).

### Approximate year the property was built

The property was built in 2014.

### Approximate year the property was extended

The property has not been extended.

### Approximate year the property was converted

This is a converted property and we believe that the original use was offices. Ask your legal adviser to check whether Local Authority notifications, approvals and completion certificates have been obtained, if necessary, for:

- the conversion works.

We do not know when this was completed. Ask your legal adviser to:

- confirm the date of the conversion works.

### Information relevant to flats and maisonettes

The property has a shared main access door and its own access door off the communal areas.

We understand that the property is held leasehold. We do not know the terms of this. Your legal adviser should discuss with you the terms of this, any onerous or unusual clauses and any possible restrictions on the use of the property. The surveyor has not had sight of the lease. Ask your legal adviser to:

- confirm that the property is leasehold, review the terms of the lease and advise you on the implications.

### Construction

The main walls are of steel framed construction. The walls are finished in brick.

The main roof is not visible from ground level.

The floor is of solid construction.

The windows are of aluminium construction with double glazed units. The door is of timber construction.

#### Accommodation

	Living rooms	Bedrooms	Bath or shower	Separate toilet	Kitchen	Utility room	Conservatory	Other
Ground	1	1	1		1			

## C

## Energy efficiency

We are advised that the property's current energy performance, as recorded in the EPC, is as stated below.

We have checked for any obvious discrepancies between the EPC and the subject property, and the implications are explained to you.

### Energy efficiency rating

The property has been given an energy efficiency rating of D56.

### Issues relating to the energy efficiency rating

No discrepancies were noted in the available EPC and accordingly there are no implications to report regarding this property's energy efficiency.

### Mains services

A marked box shows that the relevant mains service is present.

Gas  Electric  Water  Drainage

### Central heating

Gas  Electric  Solid fuel  Oil  None

### Other services or energy sources (including feed-in tariffs)

The surveyor is not aware of any other service or energy sources.

### Other energy matters

The surveyor is not aware of any other energy matters.

## Location and facilities

### Grounds

There is no off-street parking included with the property that we are aware of.

### Location

The property is located in a mixed commercial and residential area.

We are unaware of any current or potential planning applications in relation to the subject property or the surrounding area. You should ask your legal adviser to:

- make further enquiries and advise you on the extent of any planning proposals or approved developments that may impact on the property and how this may affect you.

The road outside the property is believed to be adopted, that is maintained by the local authority at their cost, although you should ask your legal adviser to:

- confirm that the access road is adopted by the local authority.

### Facilities

The property is in a location convenient for all local amenities and transport facilities.

### Local environment

Some properties in the area have been identified as being affected by radon gas emissions from the ground on which they are built, which could affect the health of occupants. Radon gas is a naturally occurring radioactive gas. It is not possible in the course of inspection/survey to determine whether radon gas is present in any given building as the gas is colourless and odourless. Tests can be carried out over a number of months to assess the level of radon in a building - at a small charge test instruments and results are available by post from the National Radiological Protection Board and other approved laboratories. Further advice can be obtained from the UK Health Security Agency (UKHSA). The Agency may recommend works to reduce the concentration of radon by sealing points of entry and improving ventilation of sub-floor voids where present. Ask your legal adviser to:

- make further enquiries and advise you on the availability of Radon gas information from the present owner and/or the possibility of negotiating a Radon retention or bond, should this be thought necessary.

This is a risk to people:

- high radon levels.

We are aware that mining activity has taken place in this area and your Legal Adviser should undertake a mining search prior to your purchase, and follow all recommendations within the mining report obtained. In addition, some houses in the area may be built on contaminated or infilled land and an environmental search should also be undertaken prior to exchange of contracts. Ask your legal adviser to:

- make further enquiries and advise you on whether the property will be affected by mining works or has

benefited from remedial works in the past as a result of mining excavations.

This is a risk to the grounds:

- past mining area.

We are not aware of the content of any environmental search, audit or investigation or soil survey which may have been carried out on the subject property or nearby and which may draw attention to any contamination, infill land or the possibility of either. We are not aware of any factors which might suggest that the subject property has been affected by contamination, but we have not carried out any specific investigations into past or present uses, either of the property or of any neighbouring land on this matter. This report therefore assumes that no contamination exists. However, should it subsequently be established that contamination, seepage or pollution exists at the property or on adjoining land or that the property has ever been put to a contaminative use, this might have a material effect on the saleability and value of the property. Ask your legal adviser to:

- request an environmental search detailing past contamination issues in the area and advise accordingly.

We strongly advise that prior to exchange of contracts you should return to the property on a number of occasions, particularly in the evening and at weekends, in an attempt to establish who your neighbours are and to establish whether the way in which they use and occupy their property will produce unreasonable levels of sound transmission which could affect your quiet enjoyment, such that, if known to you prior to purchase, would lead you to reconsider your proposal to purchase the property.

We recommend that formal legal enquiries should be made of the Vendor to determine whether any previous problems with noisy neighbours or indeed other disputes have been encountered by them during the period of their ownership. Ask your legal adviser to:

- make enquiries as to any issues with neighbours past and present.

In adjoining properties high levels of sound transmission from one unit to another may cause disturbance. Adjoining properties may not have been occupied during our inspection and we therefore cannot comment on the efficiency or otherwise of any sound reduction material that may have been incorporated between the various parts of the structure.

# D

## Outside the property

# D

## Full detail of elements inspected

### Limitations on the inspection

Not all of the windows have been opened. A selection of windows on each elevation, where possible, have been tested as part of this survey.

It was not raining at the time of our inspection therefore, we cannot comment upon the adequacy or water tightness of the rainwater goods.

Irrespective of the weather conditions at the date of inspection, water ingress may only become apparent following prolonged rainfall. We can only comment on the condition as found on the day of inspection, therefore should poor weather conditions persist it would be advisable to regularly monitor the situation in order to take corrective action should future water ingress occur.

Our inspection was carried out from ground level only, within the boundaries of the subject property and accessible public areas only. Comment cannot be given on areas that are covered, concealed or not otherwise readily visible and in the absence of any further evidence it is assumed that any such areas are free from significant defects.

All measurements and dimensions mentioned are approximate or nominal only and should not be relied upon where accuracy is required.

Although the external elements of the building are likely to be the responsibility of the Landlord to maintain, often items such as doors and windows remain the responsibility of the occupier to maintain. Your Legal Adviser should clarify the extent of any repairing liabilities. If defects are present, you may have a liability for remedial work under the terms of your lease. (Please see Section H - Issues for your Legal Adviser)

Our external inspection was as detailed as possible of the section of the building immediately enclosing the flat, but we only made a much more superficial inspection of the remainder of the building.

Therefore, where condition ratings have been allocated, these have been based on a limited visual inspection. It is possible that defects may exist in these unseen areas and unless the property is fully inspected before the exchange of contracts, there may well be additional repair costs which must be borne by you.



### D1 Chimney stacks

There are no chimney stacks to this property.

NI

### D2 Roof Coverings

Responsibility for repair and maintenance of the roof is usually with the freeholder or managing agents, and we recommend you check the lease and management arrangements to confirm this. You should also ensure that the roof is included within a planned maintenance programme, as regular inspections and timely repairs are essential to prevent water ingress and costly damage. Although the day-to-day responsibility rests with the freeholder, as a leaseholder you should

NI

remain alert to signs of roof problems (such as leaks, staining, or slipped tiles) and report these promptly to the managing agents so they can be addressed before they worsen.

### D3 Rainwater pipes and gutters

The weather was dry at the time of inspection and we are therefore unable to comment upon the adequacy of the rainwater goods in removing water away from the property efficiently, having sufficient falls (slope), having enough outlets and being able to cope with heavy rainfall.

NI

Responsibility for maintenance and repair usually lies with the freeholder or managing agents, and you should check the lease to confirm this. You should also ensure that cleaning and inspection of gutters and downpipes are included within a planned maintenance schedule, particularly given the increasing frequency of intense rainfall in the UK. Although you are unlikely to be directly responsible for the upkeep, as a leaseholder you should remain aware of the potential impact of poorly maintained rainwater goods and report any visible leaks, blockages or overflows promptly to the managing agents, as such issues can lead to wider building defects if not addressed quickly.

### D4 Main walls

Responsibility for the maintenance and repair of the external walls normally rests with the freeholder or managing agents, with costs shared between leaseholders through the service charge. As a flat owner, you should still remain aware of any cracks, dampness, or cladding concerns and report these promptly, as timely management action will help prevent more costly future repairs.

1

The main walls are of steel framed construction. The walls are finished in brick.

A damp proof course (DPC) was not visible and we cannot confirm whether one is present or not. It may be that it is concealed by mortar pointing. However, given the age of the property, it is likely that a plastic DPC exists.

Within the limitations of our inspection, the wall surfaces appeared to be in a generally satisfactory condition and no significant defects were noted. We found no signs of significant past or present movement in the external structure of the building, although we would recommend that confirmation is sought from the Vendors as it can be difficult to identify after remedial works have been undertaken. We found no evidence of significant dampness within the scope of our inspection and report.

The foundations are not visible. Your Legal Adviser should make enquiries and confirm that the property has not been underpinned as works may have been undertaken in the past, which are now not readily apparent. Properties of more recent construction should at least have complied with the Building Regulations in force at the time of construction.

### D5 Windows

It is not clear whether responsibility for window repair and renewal rests with the freeholder/ managing agents or with the individual leaseholders. Your legal adviser should confirm the exact position under the lease, as this will affect ongoing maintenance obligations and the potential for future costs. In either case, you should remain alert to signs of defects such as draughts, leaks, misting of glazing or deterioration of seals, and ensure these are reported or addressed promptly. Ask your legal adviser to:

1

- confirm whether the windows are the responsibility of the freeholder or leaseholder.

The windows are of aluminium construction with double glazed units.

The windows appear serviceable but will need routine maintenance. The quality of double-glazed units can vary. Whilst the units in the property appear sound at present, no comments can be made about long term durability.

Aluminium windows need regular maintenance, including lubrication of the friction stay hinges, handles and locking mechanisms. Older aluminium windows do not have a thermal break installed between the inner and outer frame and this can lead to cold bridging which can result in condensation.

Double-glazing has a limited life and is prone to deterioration at edge seals. This can sometimes be recognised by moisture between panes, but its presence is dependent upon atmospheric conditions, which are of course variable, therefore failure cannot always be diagnosed during a single inspection.

Since April 2002 replacement double-glazing required either Building Regulation Approval or should have been installed by a contractor registered with an association such as FENSA, CERTASS or BM Trada, which are recognised by the Government under the 'Competent Person Scheme'. Your Legal Adviser should also make further enquiries in respect of any manufacturer's warranty which may be available in respect of the installation, although if this has now expired, then the remaining economic life of the installation may be limited. Ask your legal adviser to check whether Local Authority notifications, approvals, completion certificates and guarantees have been obtained, if necessary, for:

- the double-glazed windows.

Where the windows abut the external wall finish, gaps between the window frame and finish often exist. The mastic that is used to seal these areas does have a limited life, after which it becomes brittle. Consequently, the mastic should be inspected on a periodic basis and replaced with a suitable external grade mastic suitable for the location.

## D6 Outside doors (including patio doors)

It is not clear whether responsibility for the door repair and renewal rests with the freeholder/ managing agents or with the individual leaseholders. Your legal adviser should confirm the exact position under the lease, as this will affect ongoing maintenance obligations and the potential for future costs. In either case, you should remain alert to signs of defects such as draughts, leaks, misting of glazing or deterioration of seals, and ensure these are reported or addressed promptly. Ask your legal adviser to:

1

- confirm whether the doors are the responsibility of the freeholder or leaseholder.

The door is of timber construction.

The door appeared to be in reasonable condition but will need routine maintenance.

Timber doors need regular maintenance including treatment or redecoration to protect against deterioration, as well as lubrication of the hinges, handles and locking mechanisms.

**D7 Conservatory and porches**

The property does not have a conservatory or porch.

NI

**D8 Other joinery and finishes**

There is no fascia or soffit boarding or other external joinery at the property.

NI

**D9 Other**

We found no other matters concerning the exterior that require comment.

NI

# E

## Inside the property

## Inside the property

### Limitations on the inspection



### E1 Roof structure

Access to the roof space is outside the subject flat and therefore was not inspected.

NI

### E2 Ceilings

The ceilings appear to be of plasterboard construction.

1

The plasterboard ceilings appear to be in a generally satisfactory condition and no significant defects were noted. Ongoing maintenance may be required to include making good cracks particularly at plasterboard joints.

The ceilings should be inspected regularly and maintained in a good condition.

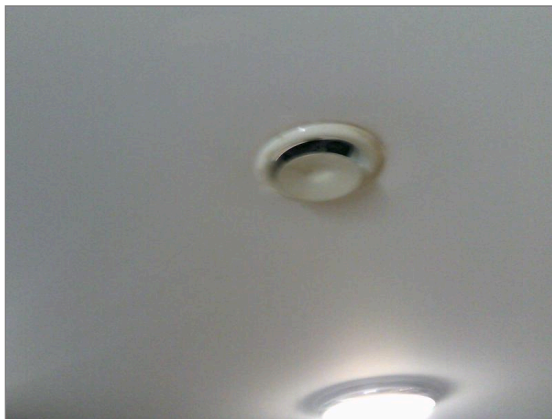


Photo - 3

### E3 Walls and partitions

The presence of fixtures, fittings, furnishings and stored items prevented a full inspection of all of the internal wall surfaces.

1

The internal walls are formed from solid and lightweight construction.

The Surveyor is not aware that any internal structural alterations have been made to the property. However, alterations can be carried out which are not possible to identify without intrusive investigations. Your legal adviser should confirm that no such works have been carried out. Where it is subsequently found that structural alterations have been carried out to the property, you should

not assume that the works were carried out to a satisfactory standard. Only the full exposure of the areas concerned will establish the quality and adequacy of the works undertaken. You should specifically request that your legal adviser confirms that all structural works undertaken to the property in the past were carried out in accordance with any appropriate planning and/or Building Regulation requirements.

The internal wall surfaces were found to be in a generally satisfactory condition and no significant defects were noted.

Tests were taken with a moisture meter at regular intervals in a structured methodical manner to internal wall, floor and other surfaces. No signs of any significant dampness was detected, although you should be aware that there were limitations which restricted our ability to test all areas, for example bathroom and kitchen units, wall tiles, furniture and floor coverings.

#### E4 Floors

Our inspection of floors was restricted by floor coverings, fittings, furniture and stored items and we cannot categorically confirm that they are all free from defect. 1

The floor is of solid construction.

The floor was found to be generally level and firm and there are no indications to suggest serious defect. However, when coverings are lifted defects may become apparent.

The floors should be checked periodically and finishes examined for any ageing or disrepair. They should be maintained in the normal way.

#### E5 Fireplaces, chimney breasts and flues

There are no open fireplaces, solid fuel-burning stoves or chimney breasts at the property. NI

#### E6 Built-in fittings (built-in kitchen and other fittings, not including appliances)

The property has fitted units and cupboards in the kitchen. 1

The general condition of the built-in fittings was satisfactory. However, they are now displaying signs of wear and tear. You should anticipate ongoing maintenance and replacements may be required.

None of the kitchen appliances have been tested. All seals to kitchen fittings should be maintained in a good condition to prevent the penetration of water and the associated risks to adjacent timbers.

Kitchens can be particularly prone to condensation and mould growth. To help prevent this, a balance between background heating, insulation and permanent ventilation is required. Mechanical ventilation is recommended in kitchens, although additional measures may be necessary following specialist advice. The mechanical vents should be cleaned regularly.



Photo - 4

#### E7 Woodwork (for example, staircase joinery)

The property has timber skirting boards. The general condition of the internal joinery was satisfactory.

1

Woodwork requires regular maintenance and decoration to help protect it against rot and deterioration.

#### E8 Bathroom fittings

The property has a range of sanitary fittings in the bathroom. These are of a modern style. The general condition of the sanitary fittings was satisfactory.

1

All seals to sanitary fittings should be maintained in a good condition to prevent the penetration of water and the associated risks to adjacent timbers.

The wet room will have a waste outflow embedded within the floor which may be prone to leakage and water penetration. No obvious signs of any defects were noted during our inspection although you should ensure that any maintenance works identified are undertaken as soon as practically possible.

Bathrooms are particularly prone to condensation and mould growth. To help prevent this, a balance between background heating, insulation and permanent ventilation is required. Mechanical ventilation is recommended in bathrooms, although additional measures may be necessary following specialist advice. The mechanical vents should be cleaned regularly.

Showers generate significant amounts of steam which will in turn cause condensation. Even with a good mechanical ventilation system mould can be problematic and you will need to remain vigilant and take action at its onset.

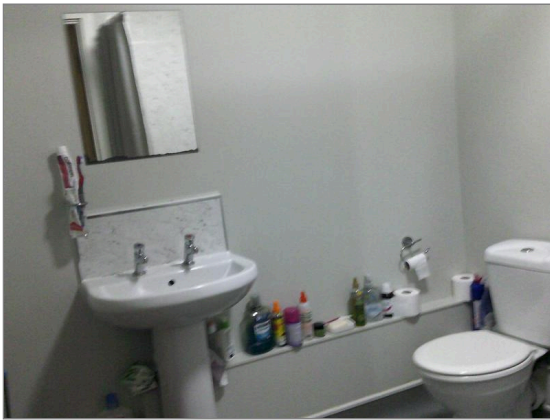


Photo - 5

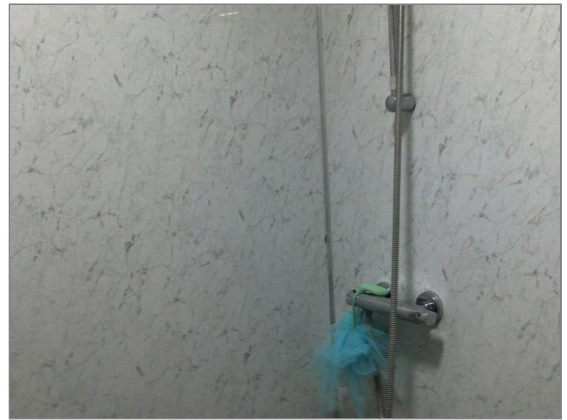


Photo - 6

### E9 Other

The property has mains powered smoke detectors. We cannot confirm the satisfactory operation of the alarms. These should be tested regularly.

3

We would always recommend that this sort of detection is kept up to date with current regulations.

Properties can suffer from condensation when heating and ventilation are not balanced effectively. This factor is very much dependent on the number of occupants and how a property is used. If either heating or ventilation is deficient then condensation will occur. This could eventually result in black staining and mould on colder surfaces such as those found around windows and doors, behind furniture and in cupboards and rooms where there is poor heating. The situation can be exacerbated by the amount of normal day-to-day activities which produce excessive amounts of water into the atmosphere. Seasonal climate conditions and periods when the property is left unoccupied will also increase the likelihood of condensation. To reduce this risk you should ensure that there is sufficient heating and ventilation at all times and that both are carefully monitored and balanced appropriately. Condensation and its causes are multi-factorial and sometimes nothing less than significant upgrading of the heating and ventilation together with improving the fabric of the building will stop condensation and mould occurring.

# F

## Services

Services are generally hidden within the construction of the property. This means that we can only inspect the visible parts of the available services, and we do not carry out specialist tests. The visual inspection cannot assess the services to make sure they work efficiently and safely, and meet modern standards.

## Services

### Limitations on the inspection

As with all properties, elements of the service are hidden by the fixtures and fittings. Some pipes and cables will be installed below flooring or wall finishes which will make it difficult to detect any potential leaks. Our comments are based on visual inspection only and no tests have been applied. We are not specialists in this field and would therefore recommend that you seek specialist advice from suitably qualified contractors where necessary. The details given are not to be construed as a full and complete assessment of any problems which may exist and should be regarded as being for general information purposes.

Where an element has been assigned Condition Rating 3, it is because we are not suitably qualified to comment on the operational condition of the installation.

If defects are present, you may have a liability for remedial work under the terms of your lease and your legal adviser should confirm. (Please see Section H - Issues for your legal adviser)



### F1 Electricity

**Safety warning:** *The Electrical Safety Council recommends that you should get a registered electrician to check the property and its electrical fittings at least every ten years, or on change of occupancy. All electrical installation work undertaken after 1 January 2005 should have appropriate certification. For more advice, contact the Electrical Safety Council.*

The services cupboard was locked and not accessible at the time of our inspection.

NI

We have not arranged for a specialist test of the electrical installation and are unable to comment upon it in detail. We are not aware of any current test certificate for the electrical installation. Without such a test it is not possible to say whether the installation is safe and complies fully with current regulations. This is a risk to the building and to people:

- no certificate.

Your legal adviser should check whether Local Authority notifications, approvals and completion certificates have been obtained, if necessary, for:

- the electrical installation.

The installation should be inspected and tested every 12 months. If it has not been inspected within the last 12 months, then it should not be used until a full test of the system has been carried out and any faults/shortcomings rectified.

Whilst the visible wiring appears satisfactory, if there is no record of an electrical test having been recently undertaken, it is recommended that the installation be tested by a competent electrician (NICEIC/ECA registered) prior to exchange of contracts to confirm its safe operation and so that you are aware of any likely future costs. All recommendations should be implemented. Thereafter, the installation should be re-tested as recommended by the electrician. However, we would strongly recommend an inspection of the electrical system on change of ownership regardless.

Any alterations that have been undertaken to the electrical installation within the property since 1st

January 2005 must now follow certain Building Regulation principals (BS 7671), such work being undertaken and/or certified by a suitably accredited electrician. You would be advised to request that your Legal Adviser makes appropriate enquiries in this respect to confirm that any such works undertaken to the property do have appropriate approval. Alterations are often undertaken to the electrical system which are then hidden from view. These may be a hazard especially when carried out by a property owner. Consequently, we would always recommend a test by a competent qualified electrician prior to exchange.

## F2 Gas/oil

**Safety warning:** *All gas and oil appliances and equipment should be regularly inspected, tested, maintained and serviced by a registered 'competent person' in line with the manufacturer's instructions. This is important to make sure that the equipment is working correctly, to limit the risk of fire and carbon monoxide poisoning, and to prevent carbon dioxide and other greenhouse gases from leaking into the air. For more advice, contact the Gas Safe Register for gas installations, and OFTEC for oil installations.*

There is no mains gas supply to the property.

NI

## F3 Water

Cold water is supplied via internal isolation valves believed to be located beneath each basin/sink. We were unable to locate the external stopcock and enquiries should be made of the vendor and the water provider.

1

The distribution plumbing, where visible, comprises copper and plastic pipework. Our inspection of the pipework was very limited as most is concealed in areas such as ducts and floors.

Water is assumed to be provided directly from the mains to the property as we were unable to locate a cold water storage tank. If the water supply is interrupted then services and appliances will cease to operate.

Where visible the water installation appeared in satisfactory condition with no serious defect or obvious leakage. We have not carried out any tests on the system and therefore we cannot comment on the operation or serviceability of any of its components.

We cannot comment on the condition of the water service pipe into the building. It should be appreciated that leaks can occur for some time before signs are apparent on the surface.

Legionnaires disease can develop from inhaling droplets of water or steam that contain the bacteria, and risk is increased where hot water is stored at temperatures between 20-45 degrees for longer periods of time, for example if the property has been vacant. Certain groups of people are more vulnerable to the disease. The property has a mains-fed hot water system without any stored water tanks, which generally presents a low risk of Legionella bacteria growth. However, there remains a limited risk within sections of hot water pipework, particularly where water may stagnate in little-used outlets or long pipe runs. We would recommend that showers and taps that are used infrequently are periodically flushed through with cold water and remove any unnecessary pipework within the system where water sits stagnant. If you are at all concerned, or if the property has been empty for some time, we would recommend an inspection by a specialist who can carry out a legionella risk assessment.

## F4 Heating

The property does not have a central heating system but there are a number of electric wall

mounted heaters. We would recommend that these are tested prior to use - see aforementioned electrical testing recommendations in Section F1 - Electricity.

3

We have not made any calculations to check that the radiators are of adequate size and will provide sufficient heat for the property and therefore cannot comment upon the efficiency of the system. A specialist should confirm this following the aforementioned tests.

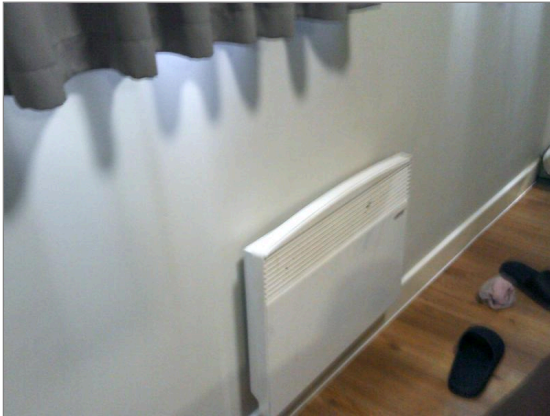


Photo - 7

#### F5 Water heating

The means of heating hot water was not identified and is believed to be part of a shared system.

NI

#### F6 Drainage

We have not investigated the underground drainage system as the property is a flat and in accordance with our terms and conditions and the Royal Institution of Chartered Surveyors' 'Description of Service', this element is specifically excluded from our inspection. We therefore cannot make any detailed comments on the underground system. It is possible that defects may exist in these unseen areas and unless the property is fully inspected before exchange of contracts, there may well be additional repair costs which must be borne by you. If defects are present, you may have a liability for remedial work under the terms of the lease and we therefore refer you to our comments in Section H.

NI

#### F7 Common services

The property has an entry phone system and a warden call system. These have not been inspected or tested. Specialist testing is required - your legal adviser should make enquiries of the management company or freeholder to ensure they have recently been inspected and are in full working order. They should also request details of any service contracts. Ask your legal adviser to:

NI

- confirm satisfactory arrangements with regard to shared services and that up-to date service records are in place.

Regulations on converted flats state that each unit must be provided with its own separate mains supplies. This cannot be confirmed from our limited inspection and we recommend that your legal adviser makes enquiries regarding the provision of separate supplies to the subject flat where

necessary. Ask your legal adviser to:

- confirm the subject flat has the benefit of its own mains services and advise you on the implications if found not to be the case.

# G

## **Grounds (including shared areas for flats)**

# G

## Grounds (including shared areas for flats)

### Limitations on the inspection



### G1 Garage

The property does not have a garage. NI

### G2 Permanent outbuildings and other structures

There are no permanent outbuildings at the property. NI

### G3 Other

There are no grounds, boundaries or shared external areas at the property. NI

# H

## Issues for your legal advisers

We do not act as a legal adviser and will not comment on any legal documents. However, if, during the inspection, we identify issues that your legal advisers may need to investigate further, we may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows). You should show your legal advisers this section of the report.

# Issues for your legal advisers

## H1 Regulation

Ask your legal adviser to check whether Local Authority notifications, approvals and completion certificates have been obtained, if necessary, for:

- the conversion works.
- the double-glazed windows.
- the electrical installation.

They should also confirm that all statutory inspections have been made and appropriate completion certificates issued. If regulations have been breached or work carried out without the necessary approvals and certificates, then extensive and costly alteration works may well be needed to ensure compliance.

## H2 Guarantees

Ask your legal adviser to check for the existence, validity and transferability of enforceable guarantees and certificates for:

- the conversion works.
- the double-glazed windows.
- the electrical installation.

These should be assigned to you as the new owner of the property. The extent of any work should also be confirmed.

## H3 Other matters

Ask your legal adviser to:

- confirm the details of the existing tenancy and advise you accordingly if the tenant is to remain in-situ.
- confirm that the flat is leasehold.
- confirm the date of the conversion works.
- confirm that the property is leasehold, review the terms of the lease and advise you on the implications.
- make further enquiries and advise you on the extent of any planning proposals or approved developments that may impact on the property and how this may affect you.
- confirm that the access road is adopted by the local authority.
- make further enquiries and advise you on the availability of Radon gas information from the present

owner and/or the possibility of negotiating a Radon retention or bond, should this be thought necessary.

- make further enquiries and advise you on whether the property will be affected by mining works or has benefited from remedial works in the past as a result of mining excavations.
- request an environmental search detailing past contamination issues in the area and advise accordingly.
- make enquiries as to any issues with neighbours past and present.
- confirm whether the windows are the responsibility of the freeholder or leaseholder.
- confirm whether the doors are the responsibility of the freeholder or leaseholder.
- confirm satisfactory arrangements with regard to shared services and that up-to date service records are in place.
- confirm the subject flat has the benefit of its own mains services and advise you on the implications if found not to be the case.



## Risks

This section summarises defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition-rated against more than one part of the property, or may be of a more general nature. They may have existed for some time and cannot be reasonably changed.

# Risks

## I1 Risks to the building

F1: Electricity - no certificate.

## I2 Risks to the grounds

Local environment - past mining area.

## I3 Risks to people

Local environment - high radon levels.

F1: Electricity - no certificate.

## I4 Other risks or hazards

# J

## Property valuation

## Property valuation

This valuation has been undertaken in accordance with *RICS Valuation – Global Standards* (Red Book Global Standards), which includes the *International Valuation Standards*.

**In my opinion the market value on 29th April 2026 as inspected was:**

£ 12,000

Twelve Thousand Pounds

**In my opinion the current reinstatement cost of the property (see note below) is:**

£ 70,000

Seventy Thousand Pounds

**Tenure**

**Area of property (sq m)**

Leasehold.

Gross internal floor area 30 square metres.

### ! Arriving at my valuation, I made the following assumptions:

**Regarding the materials, construction, services, fixtures and fittings, etc., I have assumed that:**

- an inspection of the parts that I could not inspect would not identify significant defects or a cause to alter the valuation
- no dangerous or damaging materials or building techniques have been used in the property
- there is no contamination in or from the ground, and the ground has not been used as landfill
- the property is connected to, and has the right to use, the mains services mentioned in the report and
- the valuation does not take into account any furnishings, removable fittings or sales incentives.

**Regarding legal matters, I have assumed that:**

- the property is sold with 'vacant possession' (your legal advisers can give you more information on this term)
- the condition of the property, or the purpose the property is or will be used for, does not break any laws
- no particularly troublesome or unusual restrictions apply to the property, the property is not affected by problems that would be revealed by the usual legal inquiries, and all necessary planning permissions and Building Regulations consents (including consents for alterations) have been obtained and complied with, and
- the property has the right to use the mains services on normal terms, and that the sewers, mains services and roads giving access to the property have been 'adopted' (that is, they are under local-authority, not private, control).

## Property valuation

### ! Reminder

Your legal advisers, and other people who carry out property conveyancing, should be familiar with these assumptions and are responsible for checking assumptions concerning legal matters.

### Any additional assumptions relating to the valuation

Market Value is defined as 'the estimated amount for which an asset or liability should exchange on the valuation date between a willing buyer and a willing seller in an arm's length transaction after proper marketing and where the parties had acted knowledgeably, prudently and without compulsion'.

The property is valued on the basis of vacant possession.

All measurements have been taken as part of our inspection unless otherwise stated, and calculated in accordance with the RICS Professional Statement, RICS Property Measurement, 2nd Edition, February 2018 (effective 1st May 2018) using IPMS 2 – Residential.

My opinion of the market value shown could be affected by the outcome of the enquiries by your legal advisers (section H) and/or any further investigations and quotations for repairs or replacements. The valuation assumes that your legal advisers will receive satisfactory replies to their enquiries about any assumptions in the report.

### Other considerations affecting value

We would confirm that we have not made any further assumptions other than those which have been fully referred to in our report.

We assume that the title contains no onerous restrictions or covenants.

As far as we are aware, there are no Planning proposals which adversely affect the property other than those noted in the main report.

**Note:** You can find information about the assumptions I have made in calculating this reinstatement cost in the *Description of the RICS Home Survey – Level 2 (survey and valuation) service* provided in section M.

The reinstatement cost is the cost of rebuilding an average home of the type and style inspected to its existing standard, using modern materials and techniques, and by acting in line with current Building Regulations and other legal requirements. This will help you decide on the amount of buildings insurance cover you will need for the property.

# K

## Surveyor's declaration

## Surveyor's declaration

Surveyor's RICS number

1122871

Qualifications

MRICS

Company

Watsons Property Group Limited

Address

18 Meridian Way, Norwich, Norfolk, NR7 0TA

Phone number

01603 751577

Email

surveyadmin@watsons-property.co.uk

Website

www.watsons-property.co.uk

Property address

12 New Bank House, Sheffield, S1 2FA

Client's name

Hilary McPhee

Date the report was produced

29th April 2026

I confirm that I have inspected the property and prepared this report.

Signature

A. J. Hounsome MRICS.

# L

## What to do now

## Further investigations and getting quotes

We have provided advice below on what to do next, now that you have an overview of any work to be carried out on the property. We recommend you make a note of any quotations you receive.

### Getting quotations

The cost of repairs may influence the amount you are prepared to pay for the property. Before you make a legal commitment to buy the property, you should get reports and quotations for all the repairs and further investigations the surveyor may have identified. You should get at least two quotations from experienced contractors who are properly insured.

You should also:

- ask them for references from people they have worked for;
- describe in writing exactly what you will want them to do; and
- get the contractors to put the quotations in writing.

Some repairs will need contractors who have specialist skills and who are members of regulated organisations (for example, electricians, gas engineers, plumbers and so on). You may also need to get Building Regulations permission or planning permission from your local authority for some work.

### Further investigations and what they involve

If we are concerned about the condition of a hidden part of the building, could only see part of a defect or do not have the specialist knowledge to assess part of the property fully, we may have recommended that further investigations should be carried out to discover the true extent of the problem.

This will depend on the type of problem, but to do this properly, parts of the home may have to be disturbed, so you should discuss this matter with the current owner. In some cases, the cost of investigation may be high.

When a further investigation is recommended, the following will be included in your report:

- a description of the affected element and why a further investigation is required
- when a further investigation should be carried out and
- a broad indication of who should carry out the further investigation.

### Who you should use for further investigations

You should ask an appropriately qualified person, although it is not possible to tell you which one. Specialists belonging to different types of organisations will be able to do this. For example, qualified electricians can belong to five different government-approved schemes. If you want further advice, please contact the surveyor.

# M

## **Description of the RICS Home Survey - Level 2 (survey and valuation) service and terms of engagement**

## Description of the RICS Home Survey – Level 2 (survey and valuation) service and terms of engagement

### The service

The RICS Home Survey – Level 2 (survey and valuation) service includes:

- a physical **inspection** of the property (see 'The inspection' below)
- a **report** based on the inspection (see 'The report' below) and
- a **valuation** which is part of the report (see 'The valuation' below).

**The surveyor who provides the RICS Home Survey – Level 2 (survey and valuation) service aims to give you professional advice to help you to:**

- make an informed decision on whether to go ahead with buying the property
- make an informed decision on what is a reasonable price to pay for the property
- take into account any repairs or replacements the property needs, and
- consider what further advice you should take before committing to purchasing the property.

Any extra services provided that are not covered by the terms and conditions of this service must be covered by a separate contract.

### The inspection

The surveyor inspects the inside and outside of the main building and all permanent outbuildings, recording the construction and significant visible defects that are evident. This inspection is intended to cover as much of the property as is physically accessible. Where this is not possible, an explanation is provided in the 'Limitations on the inspection' box in the relevant section of the report.

The surveyor does not force or open up the fabric of the building. This includes taking up fitted carpets, fitted floor coverings or floorboards; moving heavy furniture; removing the contents of cupboards, roof spaces, etc.; removing secured panels and/or hatches; or undoing electrical fittings.

If necessary, the surveyor carries out parts of the inspection when standing at ground level, from adjoining public property where accessible. This means the extent of the inspection will depend on a range of individual circumstances at the time of inspection, and the surveyor judges each case on an individual basis.

The surveyor uses equipment such as a damp meter, binoculars and torch, and uses a ladder for flat roofs and for hatches no more than 3m above level ground (outside) or floor surfaces (inside) if it is safe to do so.

If it is safe and reasonable to do so, the surveyor will enter the roof space and visually inspect the roof structure with attention paid to those parts vulnerable to deterioration and damage. Although the surveyor does not move or lift insulation material, stored goods or other contents.

The surveyor also carries out a desk-top study and makes oral enquiries for information about matters affecting the property.

## Services to the property

Services are generally hidden within the construction of the property. This means that only the visible parts of the available services can be inspected, and the surveyor does not carry out specialist tests. The visual inspection cannot assess the efficiency or safety of electrical, gas or other energy sources; plumbing, heating or drainage installations (or whether they meet current regulations); or the inside condition of any chimney, boiler or other flue.

## Outside the property

The surveyor inspects the condition of boundary walls, fences, permanent outbuildings and areas in common (shared) use. To inspect these areas, the surveyor walks around the grounds and any neighbouring public property where access can be obtained. Where there are restrictions to access (e.g. a creeper plant prevents closer inspection), these are reported and advice is given on any potential underlying risks that may require further investigation.

Buildings with swimming pools and sports facilities are also treated as permanent outbuildings and are therefore inspected, but the surveyor does not report on the leisure facilities, such as the pool itself and its equipment internally or externally, landscaping and other facilities (for example, tennis courts and temporary outbuildings).

## Flats

When inspecting flats, the surveyor assesses the general condition of the outside surfaces of the building, as well as its access areas (for example, shared hallways and staircases that lead directly to the subject flat) and roof spaces, but only if they are accessible from within and owned by the subject flat. The surveyor does not inspect drains, lifts, fire alarms and security systems.

External wall systems are not inspected. If the surveyor has specific concerns about these items, further investigation will be recommended before making a legal commitment to purchase. Until these investigations are completed, the surveyor may not be able to provide you with a market valuation figure.

## Dangerous materials, contamination and environmental issues

The surveyor does not make any enquiries about contamination or other environmental dangers. However, if the surveyor suspects a problem, they should recommend further investigation.

The surveyor may assume that no harmful or dangerous materials have been used in the construction, and does not have a duty to justify making this assumption. However, if the inspection shows that such materials have been used, the surveyor must report this and ask for further instructions.

The surveyor does not carry out an asbestos inspection and does not act as an asbestos inspector when inspecting properties that may fall within The Control of Asbestos Regulations 2012 ('CAR 2012'). However, the report should properly emphasise the suspected presence of asbestos containing materials if the inspection identifies that possibility. With flats, the surveyor assumes that there is a 'dutyholder' (as defined in CAR 2012), and that there is an asbestos register and an effective management plan in place, which does not present a significant risk to health or need any immediate payment. The surveyor does not consult the dutyholder.

## The report

The surveyor produces a report of the inspection results for you to use, but cannot accept any liability if it is used by anyone else. If you decide not to act on the advice in the report, you do this at your own risk. The report focuses on matters that, in the surveyor's opinion, may affect the value of the property if they are not addressed. The report objectively describes the condition of the elements and provides an assessment of the relative importance of the defects/problems. Although it is concise, the RICS Home Survey – Level 2 (survey and valuation) report does include advice about repairs or any ongoing maintenance issues. Where the surveyor is unable to reach a conclusion with reasonable confidence, a recommendation for further investigation should be made.

## Condition ratings

The surveyor gives condition ratings to the main parts (the 'elements') of the main building, garage and some outside elements. The condition ratings are described as follows:

- **R** – Documents we may suggest you request before you sign contracts.
- **Condition rating 3** – Defects that are serious and/or need to be repaired, replaced or investigated urgently. Failure to do so could risk serious safety issues or severe long-term damage to your property. Written quotations for repairs should be obtained prior to legal commitment to purchase.
- **Condition rating 2** – Defects that need repairing or replacing but are not considered to be either serious or urgent. The property must be maintained in the normal way.
- **Condition rating 1** – No repair is currently needed. The property must be maintained in the normal way.
- **NI** – Elements not inspected.

The surveyor notes in the report if it was not possible to check any parts of the property that the inspection would normally cover. If the surveyor is concerned about these parts, the report tells you about any further investigations that are needed.

## Energy

The surveyor has not prepared the Energy Performance Certificate (EPC) as part of the RICS Home Survey – Level 2 (survey and valuation) service for the property. Where the EPC has not been made available by others, the most recent certificate will be obtained from the appropriate central registry where practicable. If the surveyor has seen the current EPC, they will review and state the relevant energy efficiency and rating in this report. In addition, as part of the RICS Home Survey – Level 2 (survey and valuation) service, checks are made for any obvious discrepancies between the EPC and the subject property, and the implications are explained to you.

## Issues for legal advisers

The surveyor does not act as a legal adviser and does not comment on any legal documents. If, during the inspection, the surveyor identifies issues that your legal advisers may need to investigate further, the surveyor may refer to these in the report (for example, to state you should check whether there is a warranty covering replacement windows).

This report has been prepared by a surveyor merely in their capacity as an employee or agent of a firm, company or other business entity ('the Company'). The report is the product of the Company, not of the individual surveyor. All of the statements and opinions contained in this report are expressed entirely on behalf of the Company, which accepts sole responsibility for them. For their part, the individual surveyor assumes no personal financial responsibility or liability in respect of the report, and no reliance or inference to the contrary should be drawn.

In the case of sole practitioners, the surveyor may sign the report in their own name, unless the surveyor operates as a sole trader limited liability company.

Nothing in this report excludes or limits liability for death or personal injury (including disease and impairment of mental condition) resulting from negligence.

## Risks

This section summarises significant defects and issues that present a risk to the building or grounds, or a safety risk to people. These may have been reported and condition rated against more than one part of the property, or may be of a more general nature. They may have existed for some time and cannot be reasonably changed. If the property is leasehold, the surveyor gives you general advice and details of questions you should ask your legal advisers. The RICS Home Survey – Level 2 (survey and valuation) report will identify and list the risks, and explain the nature of these problems.

## The valuation

The surveyor gives an opinion on both the market value of the property and the reinstatement cost at the time of the inspection (see Reinstatement cost below).

### Market value

'Market value' is the estimated amount for which an asset or liability should exchange on the valuation date between a willing buyer and a willing seller in an arm's length transaction, after proper marketing wherein the parties had each acted knowledgeably, prudently and without compulsion.

When deciding on the market value, the surveyor also makes the following assumptions.

### The materials, construction, services, fixtures and fittings, and so on

The surveyor assumes that:

- an inspection of those parts that have not yet been inspected would not identify significant defects
- no dangerous or damaging materials or building techniques have been used in the property
- there is no contamination in or from the ground, and the ground has not been used as landfill
- the property is connected to, and has the right to use, the mains services mentioned in the report and
- the valuation does not take into account any furnishings, removable fittings and sales incentives of any description.

### Legal matters

The surveyor assumes that:

- the property is sold with 'vacant possession' (your legal advisers can give you more information on this term)
- the condition of the property, or the purpose that the property is or will be used for, does not break any laws
- no particularly troublesome or unusual restrictions apply to the property, the property is not affected by problems that would be revealed by the usual legal enquiries, and all necessary planning and Building Regulations permissions (including permission to make alterations) have been obtained and any works undertaken comply with such permissions, and
- the property has the right to use the mains services on normal terms, and the sewers, mains services and roads giving access to the property have been 'adopted' (that is, they are under local authority, not private, control).

The surveyor reports any more assumptions that have been made or found not to apply. If the property is leasehold, the general advice referred to earlier explains what other assumptions the surveyor has made.

### Reinstatement cost

Reinstatement cost is the cost of rebuilding an average home of the type and style inspected to its existing standard, using modern materials and techniques, and by acting in line with current Building Regulations and other legal requirements.

This includes the cost of rebuilding any garage, boundary or retaining walls and permanent outbuildings, and clearing the site. It also includes professional fees, but does not include VAT (except on fees).

The reinstatement cost helps you decide on the amount of buildings insurance cover you will need for the property.

## Standard terms of engagement

**1 The service** – The surveyor provides the standard RICS Home Survey – Level 2 (survey and valuation) service described in this section, unless you agree with the surveyor in writing before the inspection that the surveyor will provide extra services. Any extra service will require separate terms of engagement to be entered into with the surveyor. Examples of extra services include:

- costing of repairs
- schedules of works
- supervision of works
- re-inspection
- detailed specific issue reports and
- market valuation (after repairs)

**2 The surveyor** – The service will be provided by an AssocRICS, MRICS or FRICS member of the Royal Institution of Chartered Surveyors (RICS) who has the skills, knowledge and experience to survey and report on the property. Where the surveyor is also providing a valuation of the property, they have the skills, knowledge and experience to provide such a valuation, and are a member of the RICS Valuer Registration scheme.

**3 Before the inspection** – Before the inspection, you should tell us if there is already an agreed or proposed price for the property, and if you have any particular concerns about the property (such as a crack noted above the bathroom window or any plans for extension).

**4 Terms of payment** – You agree to pay the surveyor's fee and any other charges agreed in writing.

**5 Cancelling this contract** – You should seek advice on your obligations under The Consumer Contracts (Information, Cancellation and Additional Charges) Regulations 2013 ('the Regulations') and/or the Consumer Rights Act 2015, in accordance with section 2.6 of the current edition of the Home survey standard RICS professional statement.

**6 Liability** – The report is provided for your use, and the surveyor cannot accept responsibility if it is used, or relied upon, by anyone else.

**Note: These terms form part of the contract between you and the surveyor.**

This report is for use in the UK.

## Complaints handling procedure

The surveyor will have a complaints handling procedure and will give you a copy if you ask for it. The surveyor is required to provide you with contact details, in writing, for their complaints department or the person responsible for dealing with client complaints. Where the surveyor is party to a redress scheme, those details should also be provided. If any of this information is not provided, please notify the surveyor and ask for it to be supplied.

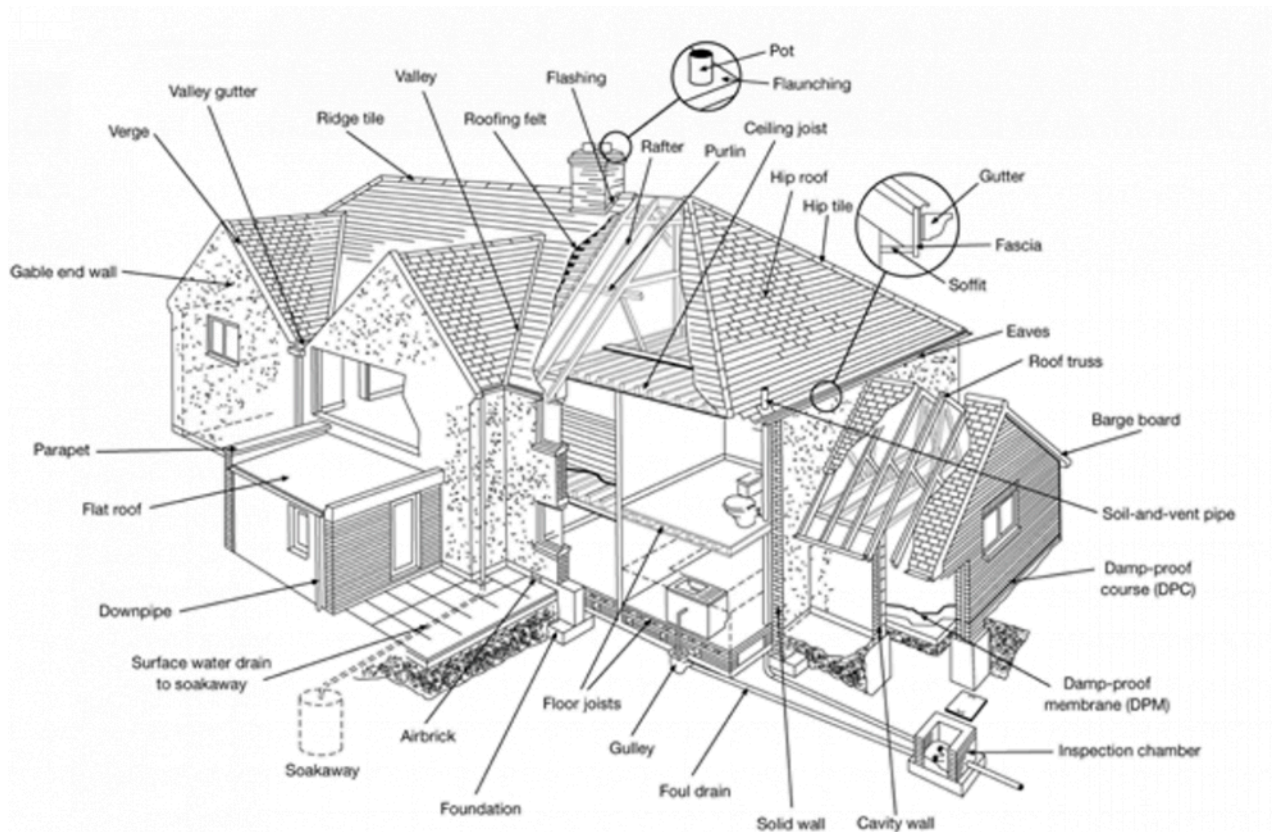
# N

## Typical house diagram

# N

## Typical house diagram

This diagram illustrates where you may find some of the building elements referred to in the report.



## RICS disclaimer

### You should know...

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Nothing in this report excludes or limits liability for death or personal injury (including disease and impairment of mental condition) resulting from negligence.

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